



7 Shelley Drive, Wistaston, Crewe, Cheshire, CW2 8DW
£202,500



SUMMARY

Entrance Hall, Living Room, Kitchen, Bedroom No. 3, Bathroom, Utility Area/Garage, Landing, Two Double Bedrooms, Gas Central Heating, uPVC Double Glazed Windows, Integral Garage, Parking Space for two cars, Gardens.

DESCRIPTION

This detached dormer bungalow was built in the late 1960's of brick under a tiled roof. The property was extended in 2007 and it has been further improved over the last two years by the present owners. The adaptable accommodation can be utilised to suite individual requirements. The property benefits from Upvc double glazing, gas fired central heating (recently installed combination boiler) and an integral garage.

DIRECTIONS

From Nantwich take the main Crewe Road, proceed for 3.2 miles, turn left into Broughton Lane, take the third turning on the left into Shelley Drive, proceed for 100 yards and the property is located on the left hand side.

LOCATION AND AMENITIES

The property is situated on a well established development about 3.5 miles from Nantwich town centre and 1.5 miles from Crewe railway station (London Euston 90 minutes, Manchester 40 minutes). The M6 motorway (junction 16) is about 10 miles.

Shelley Drive is about 10 minutes walk from a Tesco Express, Co-Op store, two pharmacies. A 10 minute walk provides a bus service to Nantwich or Crewe.

THE ACCOMMODATION COMPRISES

(with approximate measurements)

ENTRANCE HALL

UPVC security entrance door, understairs store, radiator.

LIVING ROOM

16'1" x 11'0"

Timber fire surround, gas coal effect fire, radiator, pine door.

KITCHEN

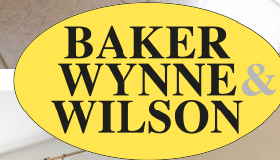
13'0" x 11'0"

Stainless steel 1½ bowl single drainer sink unit with cupboards under, floor standing cupboard and drawer units with black speckled worktops, wall cupboards, plumbing for washing machine, Moffat extractor fan, two spotlight fittings, tiled floor, door to garage, radiator, internal door.

DINING ROOM/BEDROOM 3

12'6" x 9'8"

UPVC double glazed window. Radiator.





BATHROOM

7'5" x 5'11"

White suite comprising panelled bath with mono style taps and Mira electric shower over, shower screen, three-quarter tiled walls, Xpelair, pedestal hand basin, low level WC, chrome heated towel rail, double glazed window, internal door.

STAIRS FROM ENTRANCE HALL TO LANDING

Built-in cupboard.

BEDROOM 1

12'0" x 11'3"

Access to loft, radiator, eaves storage area.

BEDROOM 2

11'4" x 11'3"

Eaves storage cupboard, access to loft, radiator.

OUTSIDE

INTEGRAL GARAGE 16'4" x 8'9" access the kitchen, up-and-over door, power and light, door to kitchen, Main wall mounted gas combination boiler, double glazed window. Outside tap. Exterior light.

GARDENS

The front garden is lawned with shrubs and borders. The rear garden extends to about 32ft (9.75m), enjoys a south-easterly aspect and is lawned with gravel area, shrubs and borders.

SERVICES

All Mains services are connected to the property. N.B. Tests have not been made of electrical, water, gas, drainage and heating systems and associated appliances, nor confirmation obtained from the statutory bodies of the presence of these services. The information given should therefore be verified prior to a legal commitment to purchase.

TENURE

FREEHOLD

VIEWINGS

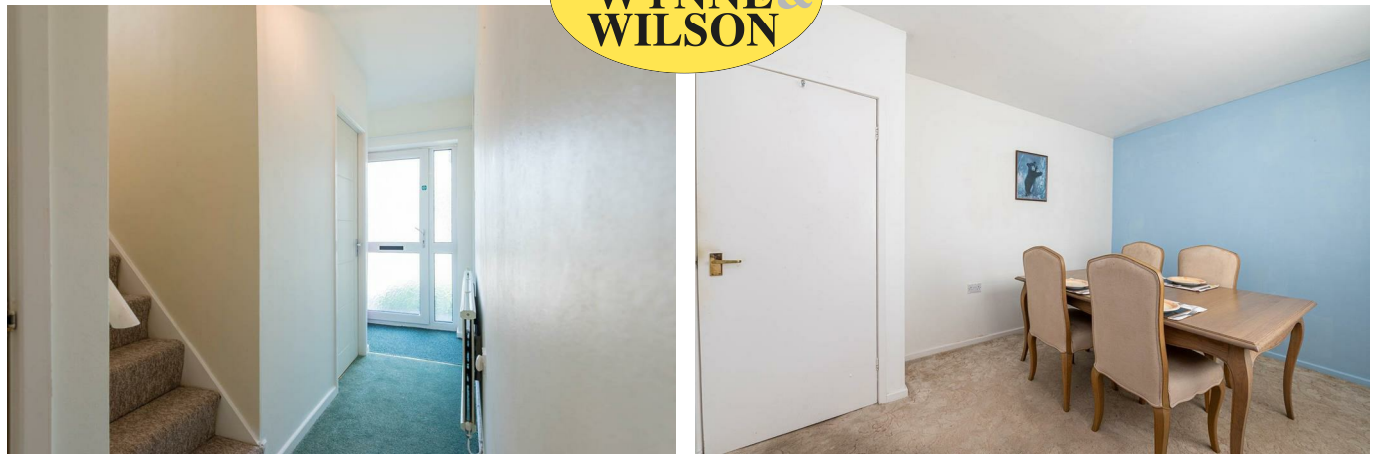
By appointment with BAKER, WYNNE & WILSON.

38 Pepper Street, Nantwich.

(Tel No: 01270 625214).

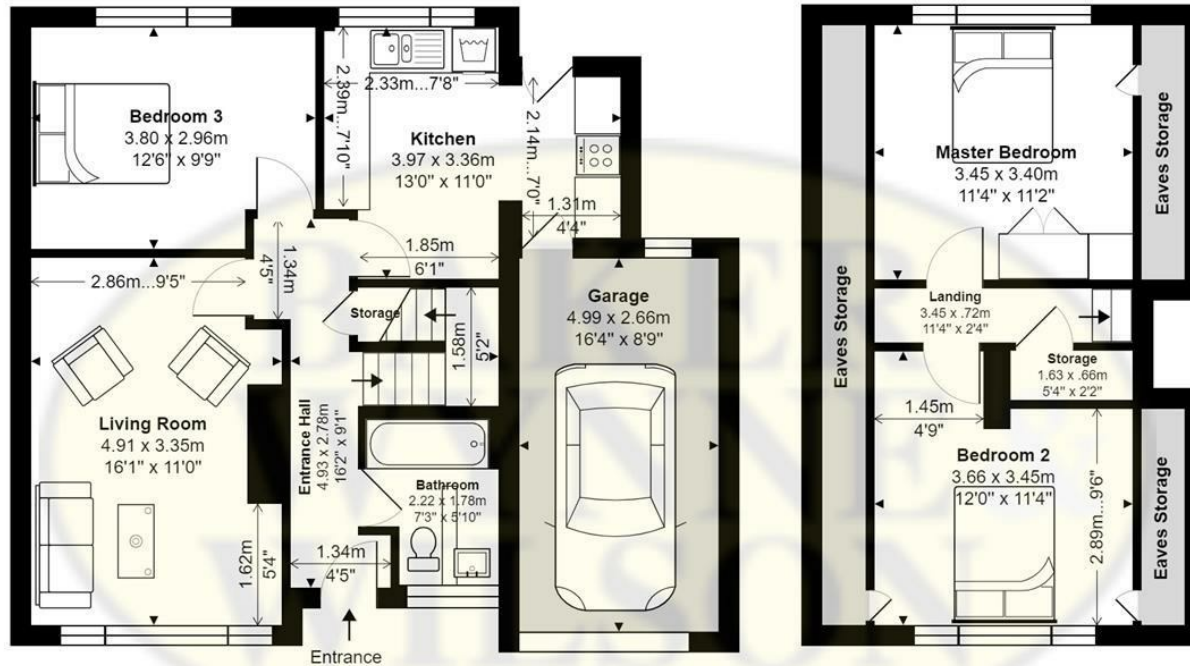


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**Ground Floor
(Includes Garage)**
Area: 66.9 m² ... 720 ft²

**Second Floor
(Excludes Eaves Storage)**
Area: 27.7 m² ... 298 ft²

Approximate Gross Internal Area: 94.6 m² ... 1018 ft² (excluding eaves storage)
 While every attempt has been made to ensure accuracy, all measurements are approximate, not to scale.
 This floor plan is for illustrative purposes only and should be used as such by any prospective tenant or purchaser.
 Floor plan produced by Green House EPC Ltd 2022. Copyright.

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			82
(81-91) B			
(69-80) C			
(55-68) D		56	
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property



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Interested? Let's Talk 01270 625214
 or info@bakerwynneandwilson.com

